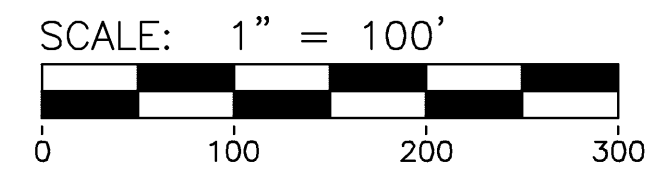
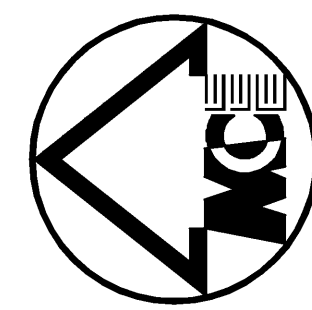


DEVELOPMENT SUMMARY

	Permitted/Allowed:	Proposed:
Zoning:	A-1	A-1
Use:	Single-Family Dwelling	Single-Family Dwelling
Conditional Use:	Rural Open Space	Rural Open Space
Development subject of the density restrictions of Section 6.04		
Parcel Size:	--	48.24 acres
Total Allowable Number of Dwelling Units	14 lots	12 lots
Allowable Dwelling Units per Section 4.03:		
First 10 acres	4 lots	4 lots
30 acres x 1 unit per whole 10 acres	3 lots	3 lots
Establishing a new road	2 lots	2 lots
Allowable Dwelling Units per Section 6.04:		
First 10 acres	2 lots	2 lots
30 acres x 1 unit per whole 10 acres	3 lots	1 lots
Lot Size:	--	1.45 acres avg.
Lot Width:	--	100' min
Lot Setbacks:		
Front:	40' min	40'
Rear:	40' min	50'
Total Front and Rear:	90' min	90'
Side:	15' min	20'
Total Side Same Lot:	40' min	40'
Distance Between Adjacent Dwellings	40' min	40'
Green Belt Buffer along a Local Road:	100'	100'

LOT SUMMARY

NEW ID	OLD LOT ID	AREA	TYPE
PARCEL A	1	1.77 AC.	METES & BOUND
PARCEL B	2	2.56 AC.	METES & BOUND
PARCEL C	3	2.17 AC.	METES & BOUND
PARCEL D	4	1.15 AC.	METES & BOUND
PARCEL E	5	2.43 AC.	METES & BOUND
UNIT 1	11	1.06 AC.	CONDOMINIUM
UNIT 2	12	1.02 AC.	CONDOMINIUM
UNIT 3	6	1.05 AC.	CONDOMINIUM
UNIT 4	7	1.07 AC.	CONDOMINIUM
UNIT 5	8	1.06 AC.	CONDOMINIUM
UNIT 6	9	1.00 AC.	CONDOMINIUM
UNIT 7	10	1.00 AC.	CONDOMINIUM



NOTES

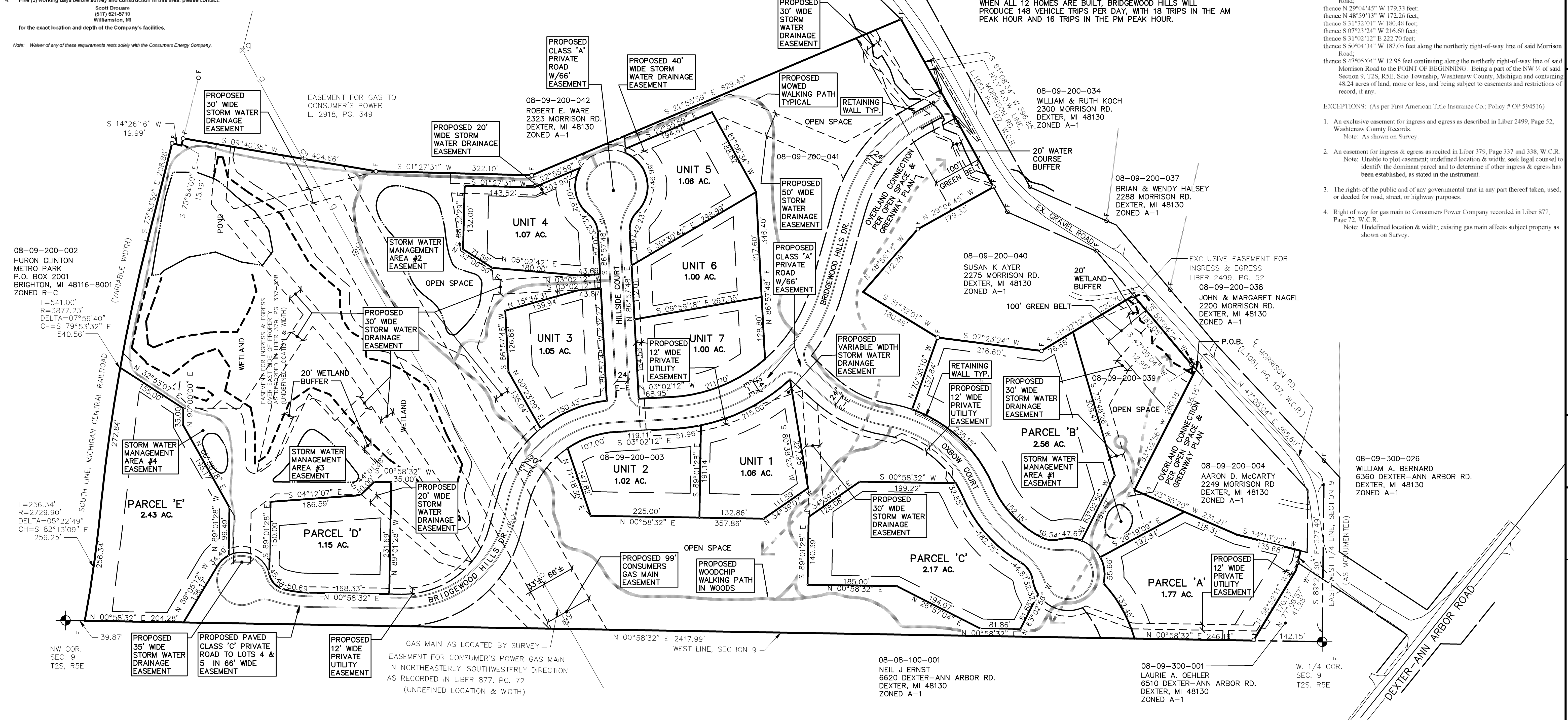
- ON STREET PARKING SHALL ONLY BE PERMITTED ON ONE SIDE OF EACH PRIVATE ROAD. NO PARKING WILL BE ALLOWED WITH-IN THE CUL-DE-SACS. "NO PARKING" SIGNS WILL BE INSTALLED ON THE EAST SIDE OF BRIDGEWOOD HILLS DR, THE NORTH SIDE OF HILLSIDE CT, THE SOUTH SIDE OF OXBOW CT. AND WITHIN THE THREE CUL-DE-SACS.
- STOP SIGNS & STREET SIGNS SHALL BE INSTALLED FOR BRIDGEWOOD HILLS DR, OXBOW CT. & HILLSIDE CT.
- 25 MPH SPEED LIMIT SIGNS SHALL BE INSTALLED ON BRIDGEWOOD HILLS DR, OXBOW CT. & HILLSIDE CT.
- A "PAVEMENT NARROWS" SIGN WILL BE INSTALLED BETWEEN THE CLASS 'A' AND CLASS 'C' PORTIONS OF BRIDGEWOOD HILLS DR.

TRAFFIC IMPACT STATEMENT

WHEN ALL 12 HOMES ARE BUILT, BRIDGEWOOD HILLS WILL PRODUCE 148 VEHICLE TRIPS PER DAY, WITH 18 TRIPS IN THE AM PEAK HOUR AND 16 TRIPS IN THE PM PEAK HOUR.

- GENERAL REQUIREMENTS FOR PROTECTING THE CONSUMERS ENERGY COMPANY PIPELINE**
- It is State law that contractors contact the Utility Communications System (Misc Dig; Phone (800) 482-7171) three (3) days before starting any work.
 - No buildings, sheds, septic systems, drainfields, retention ponds, water wells, manholes or other such facilities shall be located on the Company's right-of-way.
 - No ground cover is to be removed from the Company's right-of-way.
 - No trees shall be planted on the Company's right-of-way. Shrubs are permitted on the right-of-way provided they do not exceed seven (7) feet in height and they are not planted within five (5) feet of the existing pipeline.
 - Fences are permitted on the Company's right-of-way provided fence posts and supports are placed at least five (5) feet from an existing pipeline.
 - If heavy equipment is to cross the Company's existing pipeline, a minimum of five (5) feet of cover shall be maintained over the pipeline or protective bridging shall be provided and installed by the property owner. Drawings are available upon request showing acceptable bridging practices.
 - The construction of roads or buried utilities on the Company's right-of-way shall have prior approval. Any such facility that parallels a Company pipeline shall not be constructed closer than 15 feet from the edge of the pipeline. The installation of protective bridging under roads will be required at a crossing if less than five (5) feet cover. See item 5 above for details.
 - The depth of any buried utilities shall be maintained completely across the Company's right-of-way to achieve a minimum clearance of 24 inches from existing facilities and to accommodate future facilities that may be installed.
 - A buried utility that crosses the Company's existing pipeline shall cross as near to 90° to the pipeline as practicable in order to minimize the amount of pipeline that may have to be exposed.
 - The length of the Company's pipeline that will be exposed shall be limited to a maximum of 25 feet and the backfilling shall be performed in a manner to avoid damage to the pipe coating and to provide firm support. Hand labor shall be used when necessary to assure that the pipeline is fully supported on compacted backfill. The backfill shall be placed so that after settlement the ground surface will be as near original grade as possible. No large rocks, boulders, clots or refuse will be allowed in the backfill material. The backfill operation will be subject to our inspection.
 - The party that is constructing a buried utility across or in the immediate vicinity of the Company's pipeline shall contact Consumers Energy Company's Corrosion Control Engineer at (517) 786-1195 to discuss potential interference problems that may result in accelerated corrosion damage to either facility.
 - Paved areas over the Company's pipelines, such as parking areas, are to have 10 feet wide by 20 feet long openings every 100 feet of paving. The openings, as approved by the Company, are to be longitudinally centered over the pipeline. The openings shall be landscaped with grass or other low growing vegetation at the Property Owner's expense.
 - The Company will not be responsible for the future cost of repairs to or replacement of driveways, paved areas, shrubs, sod or other property improvements located within the right-of-way resulting from the construction, repair or maintenance of a pipeline(s) or related facilities.
 - Five (5) working days before survey and construction in this area, please contact: Scott Droure (517) 521-5710, Williamston, MI for the exact location and depth of the Company's facilities.

Note: Waiver of any of these requirements rests solely with the Consumers Energy Company.



Notes

- Bearings based on Quitclaim Deed of Morrison Road, L1051, PG. 107 & Atwell Hicks Dwg. Job # 34639, dated September 15, 1982. Reference MCLLC Job # 03095.
- Legal Description provided by First American Title Insurance Co., Policy # OP 594516.

Being more particularly described as:
 LEGAL DESCRIPTION OF A 48.24 ACRE PARCEL OF LAND
 LOCATED IN THE NW 1/4 OF SECTION 9, T2S, R5E,
 SCIO TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

Commencing at the West 1/4 Corner of Section 9, T2S, R5E, Scio Township, Washtenaw County, Michigan; thence S 89°23'30" E 327.49 feet along the E-W 1/4 line of said Section 9, as monumented; thence N 47°05'04" E 365.60 feet along the centerline of Morrison Road (66.00' wide) as recorded in Liber 1051, Page 107, W.C.R.; thence N 63°02'56" W 35.16 feet to the northerly right-of-way line of said Morrison Road and to the POINT OF BEGINNING.

thence continuing N 63°02'56" W 280.16 feet;
 thence S 23°35'20" W 231.21 feet;
 thence S 14°13'22" W 135.68 feet;
 thence N 77°06'57" W 41.28 feet;
 thence N 58°52'11" W 170.13 feet to a point being N 00°58'32" E 142.15 feet from the West 1/4 Corner of said Section 9;
 thence N 00°58'32" E 2417.99 feet along the West line of said Section 9 to a point being S 00°58'32" W 39.87 feet from the NW Corner of said Section 9;
 thence along the South line of the Michigan Central Railroad (variable width) for the following five (5) courses:
 southeasterly 256.34 feet in the arc of a non-tangential curve to the left, having a radius of 2729.90 feet, a central angle of 05°22'49", and chord bearing of S 82°13'09" E 256.25 feet;
 southeasterly 541.00 feet in the arc of a circular curve to the right, having a radius of 3877.23 feet, a central angle of 07°59'40", and chord bearing of S 79°53'32" E 540.56 feet;
 S 75°54'00" E 208.88 feet;
 S 14°26'16" W 19.99 feet and
 S 75°54'00" E 15.19 feet.

thence S 09°40'35" W 404.66 feet;
 thence S 01°27'31" W 322.10 feet;
 thence S 22°55'59" E 829.43 feet;
 thence S 61°08'34" W 396.85 feet along the northerly right-of-way line of said Morrison Road;
 thence N 29°04'45" W 179.33 feet;
 thence N 48°59'13" W 172.26 feet;
 thence S 31°32'01" W 180.48 feet;
 thence S 07°23'24" W 216.60 feet;
 thence S 31°02'12" E 222.70 feet;
 thence S 50°04'34" W 187.05 feet along the northerly right-of-way line of said Morrison Road;
 thence S 47°05'04" W 12.95 feet continuing along the northerly right-of-way line of said Morrison Road to the POINT OF BEGINNING. Being a part of the NW 1/4 of said Section 9, T2S, R5E, Scio Township, Washtenaw County, Michigan and containing 48.24 acres of land, more or less, and being subject to easements and restrictions of record, if any.

EXCEPTIONS: (As per First American Title Insurance Co., Policy # OP 594516)

- An exclusive easement for ingress and egress as described in Liber 2499, Page 52, Washtenaw County Records.
 Note: As shown on Survey.
- An easement for ingress & egress as recited in Liber 379, Page 337 and 338, W.C.R.
 Note: Unable to plot easement; undefined location & width; seek legal counsel to identify the dominant parcel and to determine if other ingress & egress has been established, as stated in the instrument.
- The rights of the public and of any governmental unit in any part thereof taken, used, or decided for road, street, or highway purposes.
- Right of way for gas main to Consumers Power Company recorded in Liber 877, Page 72, W.C.R.
 Note: Undefined location & width; existing gas main affects subject property as shown on Survey.

MIDWESTERN CONSULTING
 Civil, Environmental and Transportation Engineers
 Planners, Surveyors
 Landscape Architects
 3815 Plaza Drive
 Ann Arbor, Michigan 48108
 Phone: 734.985.0200
 Fax: 734.985.0599

OXBOW LAND COMPANY
 c/o MAY DEVELOPMENT COMPANY
 2723 S. STATE ST., SUITE 120
 ANN ARBOR, MI 48104
 ATTN: RON THOMAS (734) 930-6700

BRIDGEWOOD HILLS
 FINAL SITE PLAN
 OVERALL
 LAYOUT PLAN

3

JOB No.	03291
DATE	5-12-05
SHEET	3 OF 41
REV. DATE	6-09-05
REVISED PER	VIDEO SUBMITAL
ENGR.	ETW
DATE	10-31-05
W/DOC.	OHM & CW
DATE	12-16-05
REVISED PER	TECH.FDA
DATE	01-12-06
REVISED PER	WGPC
DATE	05-19-06
REVISED PER	TECH.FDA